

**HARD LANDSCAPING NOTES:**

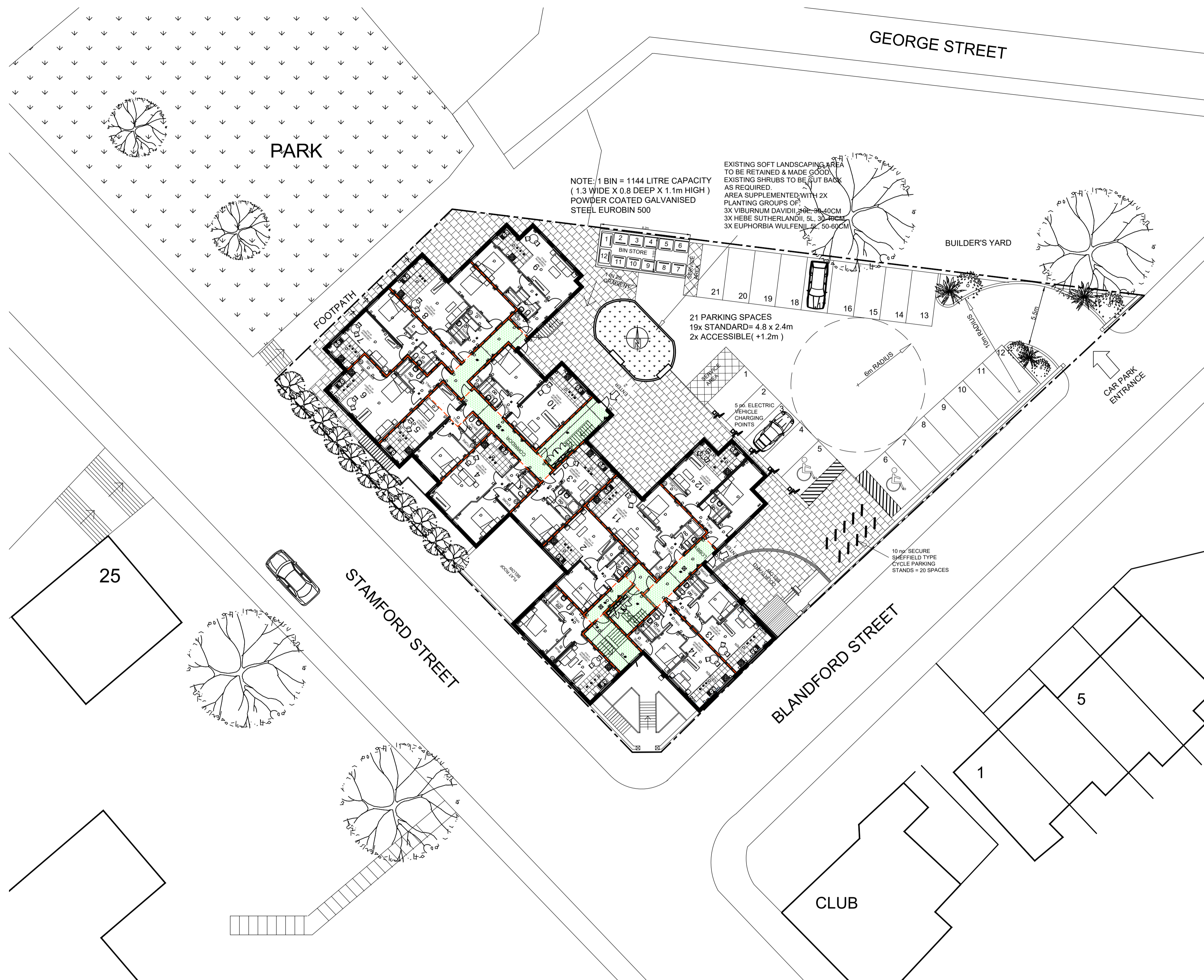
**BOUNDARY TREATMENT**

Section of new walling to Blandford Street. Reinforced concrete retaining wall faced in stone to match existing walls. As per Architects & Structural Engineers details. 1.1m steel railing balustrade on top of coping, railings to be painted black. All other boundaries to be retained and made good as required.

**CAR PARK**

Existing carpark to be retained and made good. New section of carpark to be blended into existing. New area of carpark to be formed with permeable 'black' Asphalt finish as indicated. Use MOT type 3 for sub base. Refer to 'Tarmac Ultradrive Porous' or similar. Planting beds at entrance to be edged with Marshalls 'Tegula Kerb sett' Pennant grey finish or similar.

Refer to S&J Garden Projects Drawing no.21-279 / 001 for Landscape Design



**SITE PLAN  
SCALE 1:200 @ A1**

Copyright of this drawing is vested in BM Architectural and it must not be copied or reproduced without written permission. All dimensions are to be taken from this drawing. DO NOT SCALE OFF THIS DRAWING. If in doubt ask.

All contractors must read the site plan in conjunction with the drawings and check all dimensions relative to their work. BM Architectural are to be notified if any variance between drawings and site conditions.

External date drawings issued as 'not only' and should not be interpreted for measurement. All dimensions and levels should be taken only from those values stated on the drawings.

CAR PARKING PROVISION	
NUMBER OF STANDARD ON SITE PARKING SPACES=	19
NUMBER OF EXTRA WIDE ACCESSIBLE=	2
TOTAL NUMBER OF SECURE ON SITE PARKING SPACES=	21
USING RATIO OF 0.6 SPACES / APARTMENT- APARTMENTS TOTAL=	33
ELECTRIC VEHICLE CHARGING POINTS= 20% PROVISION AS RECOMMENDED BY THE ENERGY SAVING TRUST	5

SECURE CYCLE PARKING PROVISION	
NUMBER OF ON SITE SECURE CYCLE PARKING SPACES=	33
USING RATIO OF 1 SPACE / 1 BEDROOM APARTMENT	

WASTE STORAGE AND COLLECTION STRATEGY	
NUMBER OF APARTMENTS=	33
TOTAL NUMBER OF PEOPLE USING RATIO OF 2.0/ APARTMENT=	66
NUMBERS OF BINS PROVISION=	
GENERAL WASTE	3
PAPER RE-CYCLE	1
PLASTIC / GLASS / METAL RE-CYCLE	1
NOTE: 1 bin = 1144 litre capacity ( 1.3 wide x 0.8 deep x 1.1m high ) powder coated galvanised steel EUROBIN 500	

- C 02/09/22 BIKE STANDS RELOCATED
- B 12/05/22 EXTERNALS AMENDED
- A 18/10/21 BUILDING RE-NAMED, LIFT REMOVED, FIRE ESCAPE ADDED TO REAR, EXISTING WINDOW ON 2nd FLOOR RETAINED, 2 x ROOF-LIGHTS ADDED, INTERNAL PLANNING AMENDED TO COMPLY WITH BUILDING REGULATIONS, SCHEDULE AMENDED TO 25x 1 BED APARTMENTS AND 4x STUDIOS, STORAGE ADDED TO LOWER GROUND FLOOR, ELECTRIC CAR CHARGING POINTS ADDED

REV.	DATE	DETAILS

**BM ARCHITECTURAL DESIGNS**  
**APARTMENT 8**  
 224 GREAT CLOWES STREET  
 MANCHESTER M7 2ZS  
 TEL: 07415 493002

**PROJECT:** PROPOSAL FOR 33 APARTMENTS AT ST. GEORGE'S LODGE, STAMFORD STREET, STALYBRIDGE, SK15 1JZ

**CLIENT:** CASSEL AND FLETCHER PROPERTY MANAGEMENT LTD.

**TITLE:** PROPOSED SITE PLAN

**SCALE:** 1:200@A1 **DATE:** 10/2021 **DRAWN:** BM

**STATUS:** BUILDING REGULATIONS CHECKED

**DRAWING NO:** BM/1021/STAM/ BR03 **REV:** C